



Bid Package #01 Site Work

Exhibit B

Subcontract Scope of Work

Job Number: 1803-mc

Job Name: The Landing – Ft. Wayne

Subcontractor:

Commitment #: TBD

Scope of Work: **Site Work**

GENERAL SUMMARY

Maintain fences, barricades, guard rails, caution tape, silt fence & all soil control measures, gravel construction entrances/drives etc. If these items are damaged or removed by your forces (by accident, or for execution of work) they are to be reinstalled by your forces to an acceptable condition.

All deliveries and staging of materials must be coordinated with the Superintendent.

Maintain cleanliness of roadways to the satisfaction of Model Construction, neighborhood, and local authorities for the duration of your work on site. Subcontractor is responsible for cleaning dirt/debris from road if it is caused by your men, equipment, trucks, etc. If dirt/debris is tracked on the road and not cleaned by end of the work, Model Construction will clean and subcontractor will be back charged. (Model Construction will notify subcontractor and allow reasonable time to clean prior to assuming responsibility of cleaning).

Provide daily clean-up of all construction debris and “personal trash” (lunch wrappers, bottles, etc.) generated by your crew. Clean up after every workday and take trash to the proper dumpster before going home. If the job site is not in a neat and orderly condition, then all contractors on the jobsite will be responsible to pay for the cost plus fee to have a third party contractor make the job site clean, neat and orderly.

All MODEL CONSTRUCTION jobsites are TOBACCO FREE. All smoking, dipping, chewing, etc. must be done off site, in area designated by Model Construction Superintendent. Please inform your crew(s), as this will be enforced.

Temporary restrooms are provided by Model Construction.

All reference to “General Contractor”, Trade Contractor, or “Subcontractor” in the construction documents shall mean Trade Contractor as outlined in this scope of work/contract.

All work shall be performed by OSHA regulations and standards. All safety issues are to be corrected and paid for by this subcontractor.

Subcontractor Initials _____

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All workers on Model Construction Job Sites should be OSHA ten hour trained or have the basic knowledge of OSHA laws and regulations.

All Job-Specific SDS Sheets for this Work Scope must be submitted to the Model Project Manager PRIOR to the start of work.

Weekly subcontractor meeting will be held in the job office. These meetings are MANDATORY! At least one member from the subcontractor (foreman, project manager, or someone with decision making authority) must be in attendance starting two weeks prior to the scheduled start date, and throughout the duration of your scope of work.

Working hours for this project are established as 7:00 AM to 3:30 PM Monday through Friday. If subcontractors desire to work outside of these hours, prior approval must be granted by Model Construction superintendent. Contractors shall be expected/permitted to work Saturday or Federal Holidays as necessary to maintain the progress of the construction schedule.

All work to be in compliance with the complete contract documents (plans and specifications). Documents can also be examined at the Model Website (see below).

Any work not covered in the base contract must be approved by Model Construction before subcontractor proceeds with work. A daily ticket must be signed by Model superintendent for all extra work. All extra tickets must be included in a **Change Order Request** and submitted on a weekly basis. **No** compensation will be paid to subcontractor for extra work until it is signed by the subcontractor and Model Construction.

Proactive thinking and coordination with Model Construction and other subcontractors is expected and required throughout this project.

Any functioning system turned off or disconnected during the day must be put back in service by the end of the work day. Work day is to be considered day or evening shift depending on where the work is taking place.

Provide close out documents, spare parts, O & M manuals, warranty, etc. upon completion of the scope of work.

Provide accurate As-Built drawings.

Provide OSHA 300A at the end of this job documenting the hours logged by workers on the jobsite and any incidents that occurred on the jobsite.

Subcontractor is to provide a 1 year warranty for all work performed, stating on the day the certificate of occupancy is issued. This 1 year warranty must be officially submitted to Model Construction at the end of the project on company letterhead.

Contractor shall visit site and become familiar with existing conditions as they relate to the proposed work prior to submitting bid, ordering materials, etc.

Drawings and dimensions are plus/minus. Contractor responsible for verifying existing conditions, dimensions, etc., prior to commencing work. Report substantial discrepancies to Model Construction immediately, before continuing with work. Do not scale drawings.

Each contractor responsible for performing work according to local, state and national codes, as well as other regulations which apply to such work.

Removal or cutting of structural members is not permitted unless shown on the drawings. Consult with Model Construction regarding repair or removal of structural items.

Subcontractor Initials _____



Materials to be installed must conform to the manufacturer’s recommendations.

Hard hats, work boots, protective eyewear and gloves are required for all personnel on-site.

Final Payment will be paid after contractor complies with submitting its completed company punch list, submitting completed signed copies of Model Construction punch lists and providing all warranty paper work to Model Construction.

Smoking, eating and drinking on-site is prohibited.

This is not a tax exempt project. Include all applicable taxes.

Prevailing Wages do not apply.

Model at its own discretion, may assign this subcontract, in total, to the Construction Manager. At time of assignment the General Contractor assumes all rights and privileges granted to Model by this subcontract. Subcontractor will be notified in writing within 5 working days of the assignment.

All work shall be coordinated and scheduled by the forth coming attached project schedule (Exhibit C) and managed through General Contractor.

Site Work SUMMARY

Provide all labor, material, equipment, supplies, taxes, insurances, supervision, inspections, manufacturer’s warranty and permits to perform the Site Work Work for The Landings project in Ft. Wayne, Indiana.

The Buildings, and address included in this work are:

- 110 & 114 W. Columbia St.**
- 116 W. Columbia St.**
- 123-125 W. Columbia St.**
- 111 W. Columbia St.**
- 118 & 122 W. Columbia St.**
- 131 W. Columbia St.**
- Ft. Wayne, IN 46802**

All specifications, manufacturers, notes and details are included in the drawing set. If additional clarification is required, it is your responsibility to contact Model Construction during the bidding process and request that clarification.

The General Specifications (Division 1) are spelled out above, and shall become a part of any contract.

Specifications directly applicable to this scope of work:

- Division 00 - All**
- Division 01 - All**
- Division 03 – All**
- Division 31 – All**
- Division 32 – All**
- Division 33 – All**

This contract specifically includes, but is not necessarily limited to the following:

General

- A. Coordinate and follow schedule. Working closely with site superintendent is a must.
- B. Provide all layout and field engineering required for the performance of this work.
- C. ALL Site demolition as depicted on Drawing C1.01, except Main Building Demolition and removal of asphalt paving material
- D. Existing building demo and asphalt removal is NOT included in this scope. Covered by the Demo sub-contractor.
- E. Provide for all permits and fees, tap fees and inspection fees
- F. Adjust any "existing to remain" manholes, valves, hydrants, etc. to the new proposed grades
- G. Provide for new concrete stoop
- H. Furnish and install site drainage system complete.
- I. Furnish and install all site concrete, curbs, gutters, drives, detectable Traffic Warning inlays, aprons, paver inlays and sidewalks. Include backfill behind all curbs and sidewalks up to grade.
- J. The West Columbia Sidewalks north of Building Property Line are to be priced as an ADD Alternate.
- K. Provide proper cut and fill operations to bring subgrade to new proposed elevations. Properly compact areas to reach required compaction.
- L. Furnish and install Gravel Base
- M. Include requirements for all sub grade proof rolls before geotech fabric/gravel installation. This includes equipment necessary to conduct proof rolls.
- N. Furnish and install any geotech fabrics as required.
- O. Furnish and install Asphalt paving and striping
- P. Furnish and install parking blocks/bumpers.
- Q. Include any parking lot signage requirements (handicap) in this scope of work.
- R. Complete Landscaping per Drawing C6.01
- S. Site contractor is to include as required, continuous SWPPP maintenance and repairs and/or replacement as necessary to meet all Federal, State and Local Regulations as necessitated by the sequencing of work performed by this Subcontractor on the site until project completion.
- T. All traffic control, safety barricades, permits etc. required for partial, temporary road closures or use for the duration of this work as required to prevent hazards to the public and all project subcontractors or visitors.
- U. Sub-contractor has read and understands the Geotech soils report from GME testing dated 5-22-17.
- V. This scope of work is responsible for the installation of the New Dual Service Water Lines from 5 feet outside of building all the way into each building. Provide a stop flange or cap on piping on the interior of the basement. Include all cutting and trenching and backfill up to grade. Include patching of basement foundations around newly installed services. West Columbia St. sidewalk patch back is by others. Include all permits and fees. Include any necessary domestic permits and or hiring of a licensed plumber as required to install domestic service into basements.
- W. Furnish and install new sewer laterals and manholes per drawings for a complete system. Included all necessary trenching and backfill up to grade. West Columbia St. sidewalk patch back by others. New laterals are to be installed from 5 feet outside of buildings all the way into face of each building footprint. Provide a stop flange or cap on piping on the interior of the basement. Include patching of basement foundations around newly installed services.
- X. Grease Trap and associated piping system complete.
- Y. Furnish and install new storm laterals and manholes per drawings from 5 feet outside of buildings all the way into face of each building footprint for a complete system. Included all necessary trenching and backfill up to grade. West Columbia St. sidewalk patch back by others. Provide a turned-up boot to receive new downspouts as called out on the drawings.
- Z. All work in the right of way as required to meet the City of Ft. Wayne's specifications.
- AA. Provide proper trenching and backfilling(with compacted fill) of any underground lines.

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- BB. Provide and Install gas lines from Gas main all the way into the footprint of each building. Pressure test all work. Coordination with NIPSCO of meter installation, etc. and inspections are required. Subcontractor responsible for proper sizing of gas line and all related gas inspection fees.
- CC. Furnish and Install all necessary electrical duct banks, with nylon fish tape included, as designed per drawings from Right-of-way of Pearl street alley up to Electrical service entrance into the building footprint of 131, 123 and 111 W. Columbia. Wire is provided by others. Included all necessary trenching and backfill up to grade.
- DD. Provide and Install one(1) dedicated phone/internet service (preferably fiber if available) all the way into the footprint of each building per city specifications. Building 111, 116 and 118 will need two(2) dedicated phone/internet lines into each building.
- EE. Furnish and install Dumpster Enclosure complete including excavation, gravel base, concrete with associated reinforcing, fencing, gates with hardware, posts, bollards, etc...
- FF. No site work is included at this time on courtyard area between 131 W Columbia St. and 123-125 W Columbia.



Bid Package #02 Masonry Restoration

Exhibit B

Subcontract Scope of Work

Job Number: 1803-mc

Job Name: The Landing – Ft. Wayne

Subcontractor:

Commitment #: TBD

Scope of Work: **Masonry Restoration**

GENERAL SUMMARY

Maintain fences, barricades, guard rails, caution tape, silt fence & all soil control measures, gravel construction entrances/drives etc. If these items are damaged or removed by your forces (by accident, or for execution of work) they are to be reinstalled by your forces to an acceptable condition.

All deliveries and staging of materials must be coordinated with the Superintendent.

Maintain cleanliness of roadways to the satisfaction of Model Construction, neighborhood, and local authorities for the duration of your work on site. Subcontractor is responsible for cleaning dirt/debris from road if it is caused by your men, equipment, trucks, etc. If dirt/debris is tracked on the road and not cleaned by end of the work, Model Construction will clean and subcontractor will be back charged. (Model Construction will notify subcontractor and allow reasonable time to clean prior to assuming responsibility of cleaning).

Provide daily clean-up of all construction debris and “personal trash” (lunch wrappers, bottles, etc.) generated by your crew. Clean up after every workday and take trash to the proper dumpster before going home. If the job site is not in a neat and orderly condition, then all contractors on the jobsite will be responsible to pay for the cost plus fee to have a third party contractor make the job site clean, neat and orderly.

All MODEL CONSTRUCTION jobsites are TOBACCO FREE. All smoking, dipping, chewing, etc. must be done off site, in area designated by Model Construction Superintendent. Please inform your crew(s), as this will be enforced.

Temporary restrooms are provided by Model Construction.

All reference to “General Contractor”, Trade Contractor, or “Subcontractor” in the construction documents shall mean Trade Contractor as outlined in this scope of work/contract.

All work shall be performed by OSHA regulations and standards. All safety issues are to be corrected and paid for by this subcontractor.

All workers on Model Construction Job Sites should be OSHA ten hour trained or have the basic knowledge of OSHA laws and regulations.

Subcontractor Initials _____

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All Job-Specific SDS Sheets for this Work Scope must be submitted to the Model Project Manager PRIOR to the start of work.

Weekly subcontractor meeting will be held in the job office. These meetings are MANDATORY! At least one member from the subcontractor (foreman, project manager, or someone with decision making authority) must be in attendance starting two weeks prior to the scheduled start date, and throughout the duration of your scope of work.

Working hours for this project are established as 7:00 AM to 3:30 PM Monday through Friday. If subcontractors desire to work outside of these hours, prior approval must be granted by Model Construction superintendent. Contractors shall be expected/permitted to work Saturday or Federal Holidays as necessary to maintain the progress of the construction schedule.

All work to be in compliance with the complete contract documents (plans and specifications). Documents can also be examined at the Model Website (see below)

Any work not covered in the base contract must be approved by Model Construction before subcontractor proceeds with work. A daily ticket must be signed by Model superintendent for all extra work. All extra tickets must be included in a **Change Order Request** and submitted on a weekly basis. **No** compensation will be paid to subcontractor for extra work until it is signed by the subcontractor and Model Construction.

Proactive thinking and coordination with Model Construction and other subcontractors is expected and required throughout this project.

Any functioning system turned off or disconnected during the day must be put back in service by the end of the work day. Work day is to be considered day or evening shift depending on where the work is taking place.

Provide close out documents, spare parts, O & M manuals, warranty, etc. upon completion of the scope of work.

Provide accurate As-Built drawings.

Provide OSHA 300A at the end of this job documenting the hours logged by workers on the jobsite and any incidents that occurred on the jobsite.

Subcontractor is to provide a 1 year warranty for all work performed, stating on the day the certificate of occupancy is issued. This 1 year warranty must be officially submitted to Model Construction at the end of the project on company letterhead.

Contractor shall visit site and become familiar with existing conditions as they relate to the proposed work prior to submitting bid, ordering materials, etc.

Drawings and dimensions are plus/minus. Contractor responsible for verifying existing conditions, dimensions, etc., prior to commencing work. Report substantial discrepancies to Model Construction immediately, before continuing with work. Do not scale drawings.

Each contractor responsible for performing work according to local, state and national codes, as well as other regulations which apply to such work.

Removal or cutting of structural members is not permitted unless shown on the drawings. Consult with Model Construction regarding repair or removal of structural items.

Materials to be installed must conform to the manufacturer's recommendations.

Hard hats, work boots, protective eyewear and gloves are required for all personnel on-site.

Subcontractor Initials _____

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Final Payment will be paid after contractor complies with submitting its completed company punch list, submitting completed signed copies of Model Construction punch lists and providing all warranty paper work to Model Construction.

Smoking, eating and drinking on-site is prohibited.

This is not a tax exempt project. Include all applicable taxes.

Prevailing Wages do not apply.

Model at its own discretion, may assign this subcontract, in total, to the Construction Manager. At time of assignment the General Contractor assumes all rights and privileges granted to Model by this subcontract. Subcontractor will be notified in writing within 5 working days of the assignment.

All work shall be coordinated and scheduled by the forth coming attached project schedule (Exhibit C) and managed through General Contractor.

Masonry Restoration SUMMARY

Provide all labor, material, equipment, supplies, taxes, insurances, supervision, inspections, manufacturer's warranty and permits to perform the **Masonry Restoration Work** for The Landings project in Ft. Wayne, Indiana.

The Buildings, and address included in this work are:

110 & 114 W. Columbia St.

116 W. Columbia St.

123 W. Columbia St.

118 & 122 W. Columbia St.

131 W. Columbia St.

Ft. Wayne, IN 46802

All specifications, manufacturers, notes and details are included in the drawing set. If additional clarification is required, it is your responsibility to contact Model Construction during the bidding process and request that clarification.

The General Specifications (Division 1) are spelled out above, and shall become a part of any contract.

Specifications directly applicable to this scope of work:

Division 00 - All

Division 01 - All

Division 04 – All

This contract specifically includes, but is not necessarily limited to the following:

General

- **Upon bid submission. Provide a cost breakout and duration for each building separately.**
- Coordinate and follow schedule. Working closely with site superintendent is a must.
- No wash out in the street. Wash out in dumpster into plastic to avoid mortar and grout wash in the street.
- Include all tuck point requirements on the exterior as follows below.
- Include parging on exterior as follow below.
- Include installation of HVAC Brick vents supplied by others

Subcontractor Initials _____

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- NEW masonry work to remain exposed (unpainted) to be cleaned to remove dirt, stains, mold, mildew, white scum, efflorescence, smoke, etc. according to the gentlest means possible. Contractor responsible for cleaning shall visit site to verify appropriate method. Mortar shall not stain or be left on any brick surfaces. Existing surfaces to remain untouched/unmodified does not need to be cleaned.
- Include installation of all Steel and Precast Lintels required for this scope of work. Stone and precast Lintels furnished under this contract, Steel lintels will be provided by others.
- **All masonry demolition** is required to be performed by this BP #02 Masonry restoration subcontractor. Tooth-in and repair is also included.
- Remove ALL existing signage, brackets, nails, fasteners, shutters, vents and wire molding on brick surface. Repair as required.
- Repair all joints in masonry where mortar is damaged or missing. Cut out joints to a depth of 2x the width of the joint or until sound mortar. Remove dust and loose material by hand brushing. Mortar to match existing in composition, color, tooling, profile and hardness. While original mortar did not contain Portland cement, new mortar to have cement added in to form a Type O or K mortar and per DOI Preservation Brief #2. Promptly remove excess mortar, smears, and drippings as work proceeds. Provide test area for approval prior to commencement of work.
- Replace missing, eroded, spalled or cracked masonry units. Cut out units, including entire mortar joint around masonry unit. Remove units by hand so as not to damage adjacent masonry. Turn existing bricks around and/or use salvaged brick. Build-in new masonry and joints to match existing. Align with existing joints and coursing true and level, faces plumb and in-line. Install any anchorages, flashings, or reinforcements. All work to match surrounding masonry. Provide test area for approval prior to commencement of work.
- Remove cracked, damaged and severely spalled stone lintels and sills with care in a manner to prevent damage to adjacent remaining materials. Build-in new lintels and sills. Align with existing joints and coursing true and level, faces plumb and in-line. Install any anchorages, flashings, or reinforcements as necessary. New lintels and sills to be to match existing color and texture. Contractor to provide sample for approval prior to ordering material.
- Include any caulking required @ masonry control / expansion joints. Provide caulking at steel lintels
- All layout and field engineering required for the performance of this work.
- Provide all reinforcing steel and accessories for all masonry work. The Masonry Subcontractor is to provide and maintain OSHA-compliant reinforcing steel protection caps on all vertical reinforcing steel projections.
- If you cut in a new exterior door, window, opening, etc exposing the interior of the building, it is the responsibility of the masonry restoration contractor to install a "secured temporary door or structure" to prevent access to interior of building.
- Reference the Historic Part II Narratives; Contractor shall be sensitive to historical preservation requirements, related to their scope of work. Bring it to the attention of Model Project Manager if Historic Part II and drawings are contradictory. Deming, installing masonry, tuck pointing in exposed walls need to follow National Park Service guidelines. Avoid over sawing during demolition. Brick and mortar must match existing.
- **Lead:** For the purposes of this project, all existing painted/coated building materials are assumed to be lead containing, including but not limited to paints, stains, or other coatings. Work involving materials containing or coated with lead (Pb), must be performed in accordance with EPA's RRP regulations. Prior to the start of activities involving lead, the contractor must provide proof of current OSHA training for each person involved with lead activities, and that each person has written evidence of their ability to properly don the necessary respiratory protection If needed.
- Prior to work a lead scope and work plan must be submitted to Model Construction.
- All access to buildings and project sites are vulnerable to pedestrian traffic. Work areas must be identified by signage and barricade systems which comply with OSHA and City of Ft. Wayne regulations.
- Include all necessary shoring for masonry rebuilds.
- Any necessary Chimney restoration is included in this scope of work. Metal caps by others.
- All glass Block work, both repairs and new, are included in this subcontract.

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- Recess brick for installation of Intercom Entry system, Fire Department Key Box & Mail Key lock box.
- Provide and Install Postal Service Keeper per building. Manufacturer: Mailbox.com, Model No.: 1090, Recessed, Color: Aluminum.
- Provide and Install Fire Department Key Box per building. Manufacture Knox-Box, Model No.: 3200 Series, Recessed, Color: To Be Determined.

Specific work, but not limited to the following:

131 W. Columbia

- Include Demo of new mechanical openings.
- Include Demo of new and or reworked masonry openings for the 2nd floor balcony.
- No cleaning is to be provided on any existing masonry, limestone or terra cotta work.
- Provide epoxy injection repair on 1 limestone lintel North Façade.
- Apply clear colored water repellent to East façade 100%
- Provide exterior parging as follows: North façade-0%; East façade-10%; South facade-20%; partial West façade-10%
- Provide exterior spot-tuckpointing as follows: North façade-20%; East façade-50%; South façade-60%; West façade-0%; Utility courtyard (3 walls 20' tall)-60%
- Provide exterior brick rebuild as follows: North façade-0 sq ft; East façade-250 sq ft; South facade-10 sq ft; partial West façade-0 sq ft Utility courtyard (3 walls 20' tall)-0 sq ft.

123-125 W. Columbia

- To include the replacement of and patch back of required brick for 2 large lintels on south façade. Steel is provided by others.
- Provide exterior parging as follows: North façade-5%; East façade-0%; South facade-0%; West façade-0%
- Provide exterior spot-tuckpointing as follows: North façade-0%; East façade-5%(Stone foundation); South façade-30%; West façade-35%
- Provide exterior brick rebuild as follows: North façade-0 sqft; East façade-0 sqft; South facade-10 sqft; West façade-250 sqft
- Include Demo of new mechanical openings.
- Include Demo of new window, door and storefront openings as called out on drawings. Include installation of lintels in new openings. Steel provided by others.
- Existing glazed terra cotta to remain, 100% tuck point of skyward facing joints.
- Apply clear colored water repellent to West façade 100%
- Exclude any new masonry chimney caps.
- No cleaning is to be provided on any existing masonry, limestone or terra cotta work.

110-114 W. Columbia

- Furnish and install 4 simple square pyramidal chimney caps over 110 façade.
- Provide Demo, Shoring and Rebuild of entire multi wythe South façade located at 114 W. Columbia. Include demo of cornice, windows, decorative metal heads, sills, and storefront columns to be salvaged. Reset decorative metal window heads and sills. Wall to have 8-inch CMU center wythe, interior and exterior brick veneer for upper floors. Resetting of storefront columns and cornice by others.
- subcontractor is responsible to rebuild façade in exact likeness as it exists now. Including window openings, brick color, texture, hardness, mortar joint, mortar color, etc...
- Provide exterior parging as follows: North façade-0%; East façade-0%; South facade-0%; partial West façade-5%

Subcontractor Initials _____

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- Provide exterior spot-tuckpointing as follows: North façade-15%; partial East façade-10%; South façade-10%; partial West façade-0%
- No cleaning is to be provided on any existing masonry, limestone or terra cotta work.
- Provide exterior brick rebuild as follows: North façade-25 sqft; East façade-0 sqft; South facade-0 sqft; partial West façade-25 sqft

116 W. Columbia

- Reset 2 leaning stone units on South façade.
- Remove and reset existing clay tile copings on party wall with 114 so roofer can properly flash wall between both roofs. Include 25% new copings.
- Overhead patch repairs at alley elevator door and jamb repair.
- Provide exterior parging as follows: North façade-0%; East façade-0%; South facade-0%; West façade-0%
- Provide exterior spot-tuckpointing as follows: North façade-5%; East façade-0%; South façade 5%; West façade-0%
- Provide exterior brick rebuild as follows: North façade-150sqft; East façade-0 sqft; South facade-0 sqft; partial West façade-0 sqft. Installation of lintels is included steel provided by others.
- No cleaning is to be provided on any existing masonry, limestone or terra cotta work.

118-22 W. Columbia

- Replace existing roof clay tile mortar joints with sealant.
- Replace individual damaged, cracked and missing glass blocks. Glass block to be salvaged and reused from existing openings on the East façade that receive new windows.
- Provide exterior parging as follows: North façade-0%; East façade-0%; South facade-0%; West façade-0%
- Provide exterior spot-tuckpointing as follows: North façade-5%; East façade-20%; South façade 15%; West façades-10%
- Provide exterior brick rebuild as follows: North façade-100 sqft; East façade-0 sqft; South façade (over 122)-150 sqft; West façades-0 sqft.
- Existing glazed terra cotta to remain, 100% tuck point of skyward facing joints.
- Provide \$30,000 allowance for miscellaneous replicated terra cotta pieces. All labor and material markups are to be considered outside of provided allowance, but included in this subcontract amount.
- Include Demo of new mechanical openings.
- Include Demo of new window, door and storefront openings as called out on drawings. Include installation of lintels in new openings. Steel provided by others.
- Include demo of North East chimney down through 4th floor. Provide adequate safety floor covering for open hole upon completion. Concrete floor patch-back by others.
- No cleaning is to be provided on any existing masonry, limestone or terra cotta work.



Bid Package #03 Aluminum Storefront/Glazing

Exhibit B

Subcontract Scope of Work

Job Number: 1803-mc

Job Name: The Landing – Ft. Wayne

Subcontractor:

Commitment #: TBD

Scope of Work: **Aluminum Storefront and Doors**

GENERAL SUMMARY

Maintain fences, barricades, guard rails, caution tape, silt fence & all soil control measures, gravel construction entrances/drives etc. If these items are damaged or removed by your forces (by accident, or for execution of work) they are to be reinstalled by your forces to an acceptable condition.

All deliveries and staging of materials must be coordinated with the Superintendent.

Maintain cleanliness of roadways to the satisfaction of Model Construction, neighborhood, and local authorities for the duration of your work on site. Subcontractor is responsible for cleaning dirt/debris from road if it is caused by your men, equipment, trucks, etc. If dirt/debris is tracked on the road and not cleaned by end of the work, Model Construction will clean and subcontractor will be back charged. (Model Construction will notify subcontractor and allow reasonable time to clean prior to assuming responsibility of cleaning).

Provide daily clean-up of all construction debris and “personal trash” (lunch wrappers, bottles, etc.) generated by your crew. Clean up after every workday and take trash to the proper dumpster before going home. If the job site is not in a neat and orderly condition, then all contractors on the jobsite will be responsible to pay for the cost plus fee to have a third party contractor make the job site clean, neat and orderly.

All MODEL CONSTRUCTION jobsites are TOBACCO FREE. All smoking, dipping, chewing, etc. must be done off site, in area designated by Model Construction Superintendent. Please inform your crew(s), as this will be enforced.

Temporary restrooms are provided by Model Construction.

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All work shall be performed by OSHA regulations and standards. All safety issues are to be corrected and paid for by this subcontractor.

Subcontractor Initials _____

modelconstruction

All workers on Model Construction Job Sites should be OSHA ten hour trained or have the basic knowledge of OSHA laws and regulations.

All Job-Specific SDS Sheets for this Work Scope must be submitted to the Model Project Manager PRIOR to the start of work.

Weekly subcontractor meeting will be held in the job office. These meetings are MANDATORY! At least one member from the subcontractor (foreman, project manager, or someone with decision making authority) must be in attendance starting two weeks prior to the scheduled start date, and throughout the duration of your scope of work.

Working hours for this project are established as 7:00 AM to 3:30 PM Monday through Friday. If subcontractors desire to work outside of these hours, prior approval must be granted by Model Construction superintendent. Contractors shall be expected/permitted to work Saturday or Federal Holidays as necessary to maintain the progress of the construction schedule.

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Proactive thinking and coordination with Model Construction and other subcontractors is expected and required throughout this project.

Any functioning system turned off or disconnected during the day must be put back in service by the end of the work day. Work day is to be considered day or evening shift depending on where the work is taking place.

Provide close out documents, spare parts, O & M manuals, warranty, etc. upon completion of the scope of work.

Provide accurate As-Built drawings.

Provide OSHA 300A at the end of this job documenting the hours logged by workers on the jobsite and any incidents that occurred on the jobsite.

Subcontractor is to provide a 1 year warranty for all work performed, stating on the day the certificate of occupancy is issued. This 1 year warranty must be officially submitted to Model Construction at the end of the project on company letterhead.

Contractor shall visit site and become familiar with existing conditions as they relate to the proposed work prior to submitting bid, ordering materials, etc.

Drawings and dimensions are plus/minus. Contractor responsible for verifying existing conditions, dimensions, etc., prior to commencing work. Report substantial discrepancies to Model Construction immediately, before continuing with work. Do not scale drawings.

Each contractor responsible for performing work according to local, state and national codes, as well as other regulations which apply to such work.

Removal or cutting of structural members is not permitted unless shown on the drawings. Consult with Model Construction regarding repair or removal of structural items.

Subcontractor Initials _____



Materials to be installed must conform to the manufacturer’s recommendations.

Hard hats, work boots, protective eyewear and gloves are required for all personnel on-site.

Final Payment will be paid after contractor complies with submitting its completed company punch list, submitting completed signed copies of Model Construction punch lists and providing all warranty paper work to Model Construction.

Smoking, eating and drinking on-site is prohibited.

This is not a tax exempt project. Include all applicable taxes.

Prevailing Wages do not apply.

Model at its own discretion, may assign this subcontract, in total, to the Construction Manager. At time of assignment the General Contractor assumes all rights and privileges granted to Model by this subcontract. Subcontractor will be notified in writing within 5 working days of the assignment.

All work shall be coordinated and scheduled by the forth coming attached project schedule (Exhibit C) and managed through General Contractor.

Aluminum Storefront SUMMARY

Provide all labor, material, equipment, supplies, taxes, insurances, supervision, inspections, manufacturer’s warranty and permits to perform the Aluminum Storefront Work for The Landings project in Ft. Wayne, Indiana.

The Buildings, and address included in this work are:

- 110 & 114 W. Columbia St.**
- 116 W. Columbia St.**
- 123 W. Columbia St.**
- 111 W. Columbia St.**
- 118 & 122 W. Columbia St.**
- 131 W. Columbia St.**
- Ft. Wayne, IN 46802**

All specifications, manufacturers, notes and details are included in the drawing set. If additional clarification is required, it is your responsibility to contact Model Construction during the bidding process and request that clarification.

The General Specifications (Division 1) are spelled out above, and shall become a part of any contract.

Specifications directly applicable to this scope of work:

- Division 00 - All**
- Division 01 - All**
- Division 03 – All**
- Division 08 - 084113 Aluminum entrances and storefronts**
- 088000 Glazing**

This contract specifically includes, but is not necessarily limited to the following:

General

- A. Coordinate and follow schedule. Working closely with site superintendent is a must.
- B. Furnish and install all aluminum storefronts and glass as noted on the drawings. Provide replacement Glass as identified

Subcontractor Initials _____

model construction

- C. Caulk interior and exterior of all items provided by this bid package.
- D. Contractor responsible for removing and disposing of existing or temporary door / window.
- E. Provide a \$20,000 allowance for missing or replacement for Prismatic Glass Transoms. All labor and material markups are to be considered outside of provided allowance.
- F. Provide all hardware as specified for all openings in the work of this bid package.
- G. Furnish and install all miscellaneous glass and glazing requirements in any location as shown on the door/hardware schedule and elevations.
- H. Painting and prepping of Historic components is not included in this BP.
- I. Windows, both replacements and rebuilds, are NOT included in this BP.
- J. If a new unit cannot be completed before end of day, opening needs to be left in a secure condition where no one can get inside during "off hours."
- K. **Lead:** For the purposes of this project, all existing painted/coated building materials are assumed to be lead containing, including but not limited to paints, stains, or other coatings. Work involving materials containing or coated with lead (Pb), must be performed in accordance with EPA's RRP regulations. Prior to the start of activities involving lead, the contractor must provide proof of current OSHA training for each person involved with lead activities, and that each person has written evidence of their ability to properly don the necessary respiratory protection if needed.
- L. Prior to work a lead scope and work plan must be submitted to Model Construction.
- M. Provide all necessary flashings for a complete weathertight system.
- N. Provide aluminum thresholds at all door areas.

Specific work, but not limited to the following:

123 W. Columbia

- Remove and replace existing Storefront (West half of Street facade) with new Aluminum Storefront System and door, complete.
- Remove and provide new Storefront Systems with doors, complete at East and West Elevations.
- New Metal Panel System Infill at East Elevation per Drawing.

110 W. Columbia

- Repair and replace storefront glazing per Note 14. Include all coordination, Historic Requirements, and miscellaneous components.

114 W. Columbia

- Remove and rebuild Historic Storefront. Coordinate with Masonry, Exterior Finish Carpentry and Painting Subcontractors.

116 W. Columbia

- Include New Storefront opening West of center door at South Façade.

118 W. Columbia

- Provide Metal Panel Infill at Alley elevation per Note #12 on 118/22-A2.01b
- Re-caulk the perimeter of existing storefront system. Both interior and exterior.
- Provide a \$5,000 allowance for new door in existing front door frame.

111 W. Columbia

- Furnish and install all aluminum storefronts and glass as noted on the drawings. Provide a complete water tight system, including all flashings, trims, etc.
- Include all balcony storefront systems complete.

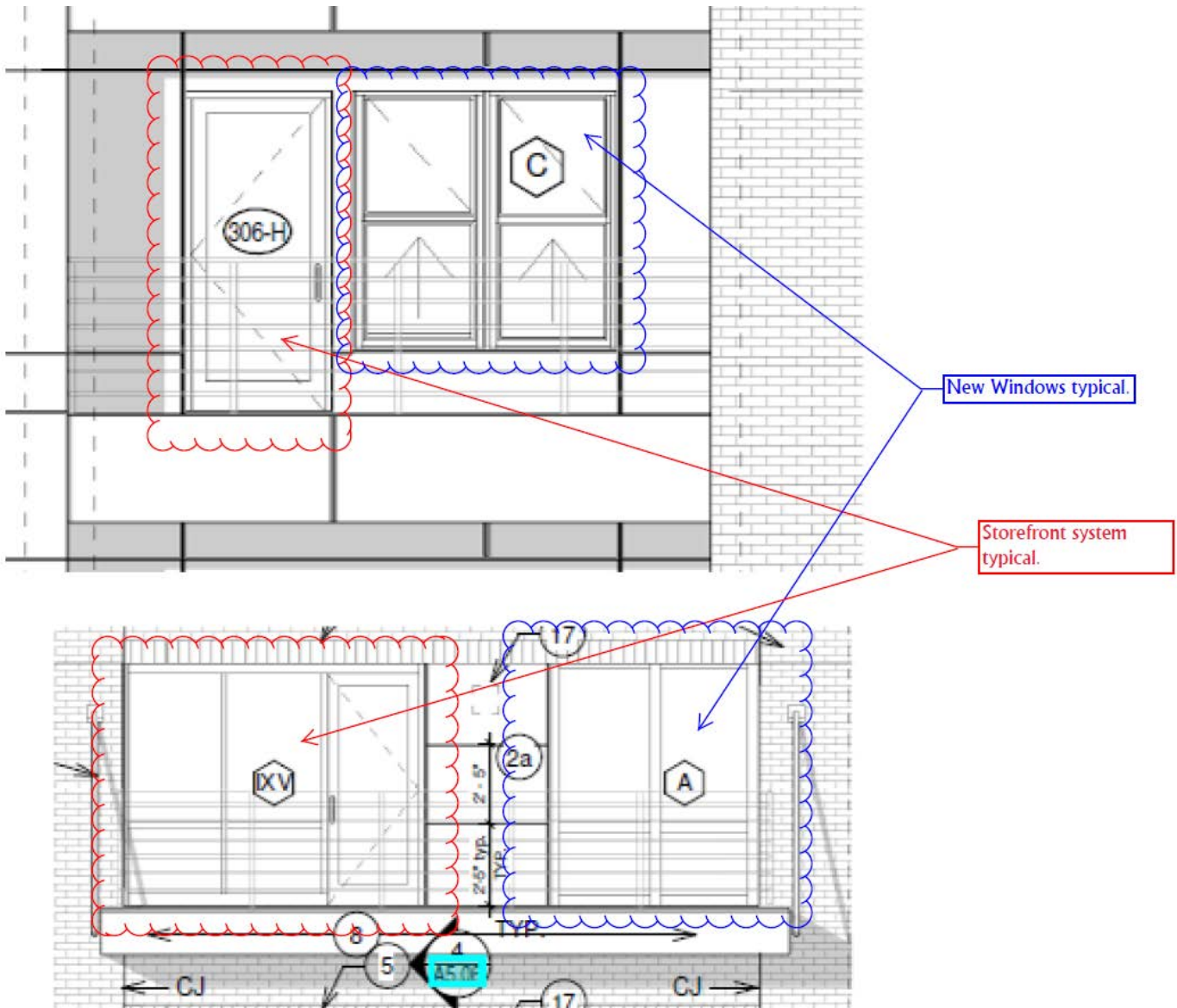
Subcontractor Initials _____

model construction

- Work closely with the Composite Metal Systems contractor (BP 10B) to properly coordinate all layout and details.
- Caulk interior and exterior of all items provided by this bid package. Provide backer rod at all caulking areas
- Provide all hardware as specified for all openings in the work of this bid package.
- Furnish and install all miscellaneous Glass and Glazing in any location as shown on the door/hardware schedule.

122 W. Columbia

- Re-caulk the perimeter of existing storefront system. Both interior and exterior.
- Provide a \$5,000 allowance for new door in existing door frame.





Bid Package #04 Windows

Exhibit B

Subcontract Scope of Work

Job Number: 1803-mc

Job Name: The Landing – Ft. Wayne

Subcontractor:

Commitment #: TBD

Scope of Work: **Windows**

GENERAL SUMMARY

Maintain fences, barricades, guard rails, caution tape, silt fence & all soil control measures, gravel construction entrances/drives etc. If these items are damaged or removed by your forces (by accident, or for execution of work) they are to be reinstalled by your forces to an acceptable condition.

All deliveries and staging of materials must be coordinated with the Superintendent.

Maintain cleanliness of roadways to the satisfaction of Model Construction, neighborhood, and local authorities for the duration of your work on site. Subcontractor is responsible for cleaning dirt/debris from road if it is caused by your men, equipment, trucks, etc. If dirt/debris is tracked on the road and not cleaned by end of the work, Model Construction will clean and subcontractor will be back charged. (Model Construction will notify subcontractor and allow reasonable time to clean prior to assuming responsibility of cleaning).

Provide daily clean-up of all construction debris and “personal trash” (lunch wrappers, bottles, etc.) generated by your crew. Clean up after every workday and take trash to the proper dumpster before going home. If the job site is not in a neat and orderly condition, then all contractors on the jobsite will be responsible to pay for the cost plus fee to have a third party contractor make the job site clean, neat and orderly.

All MODEL CONSTRUCTION jobsites are TOBACCO FREE. All smoking, dipping, chewing, etc. must be done off site, in area designated by Model Construction Superintendent. Please inform your crew(s), as this will be enforced.

Temporary restrooms are provided by Model Construction.

All reference to “General Contractor”, Trade Contractor, or “Subcontractor” in the construction documents shall mean Trade Contractor as outlined in this scope of work/contract.

All work shall be performed by OSHA regulations and standards. All safety issues are to be corrected and paid for by this subcontractor.

Subcontractor Initials _____

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All workers on Model Construction Job Sites should be OSHA ten hour trained or have the basic knowledge of OSHA laws and regulations.

All Job-Specific SDS Sheets for this Work Scope must be submitted to the Model Project Manager PRIOR to the start of work.

Weekly subcontractor meeting will be held in the job office. These meetings are MANDATORY! At least one member from the subcontractor (foreman, project manager, or someone with decision making authority) must be in attendance starting two weeks prior to the scheduled start date, and throughout the duration of your scope of work.

Working hours for this project are established as 7:00 AM to 3:30 PM Monday through Friday. If subcontractors desire to work outside of these hours, prior approval must be granted by Model Construction superintendent. Contractors shall be expected/permitted to work Saturday or Federal Holidays as necessary to maintain the progress of the construction schedule.

All work to be in compliance with the complete contract documents (plans and specifications). Documents can also be examined at the Model Website (see below).

Any work not covered in the base contract must be approved by Model Construction before subcontractor proceeds with work. A daily ticket must be signed by Model superintendent for all extra work. All extra tickets must be included in a **Change Order Request** and submitted on a weekly basis. **No** compensation will be paid to subcontractor for extra work until it is signed by the subcontractor and Model Construction.

Proactive thinking and coordination with Model Construction and other subcontractors is expected and required throughout this project.

Any functioning system turned off or disconnected during the day must be put back in service by the end of the work day. Work day is to be considered day or evening shift depending on where the work is taking place.

Provide close out documents, spare parts, O & M manuals, warranty, etc. upon completion of the scope of work.

Provide accurate As-Built drawings.

Provide OSHA 300A at the end of this job documenting the hours logged by workers on the jobsite and any incidents that occurred on the jobsite.

Subcontractor is to provide a 1 year warranty for all work performed, stating on the day the certificate of occupancy is issued. This 1 year warranty must be officially submitted to Model Construction at the end of the project on company letterhead.

Contractor shall visit site and become familiar with existing conditions as they relate to the proposed work prior to submitting bid, ordering materials, etc.

Drawings and dimensions are plus/minus. Contractor responsible for verifying existing conditions, dimensions, etc., prior to commencing work. Report substantial discrepancies to Model Construction immediately, before continuing with work. Do not scale drawings.

Each contractor responsible for performing work according to local, state and national codes, as well as other regulations which apply to such work.

Removal or cutting of structural members is not permitted unless shown on the drawings. Consult with Model Construction regarding repair or removal of structural items.

Subcontractor Initials _____

modelconstruction

Materials to be installed must conform to the manufacturer's recommendations.

Hard hats, work boots, protective eyewear and gloves are required for all personnel on-site.

Final Payment will be paid after contractor complies with submitting its completed company punch list, submitting completed signed copies of Model Construction punch lists and providing all warranty paper work to Model Construction.

Smoking, eating and drinking on-site is prohibited.

This is not a tax exempt project. Include all applicable taxes.

Prevailing Wages do not apply.

Model at its own discretion, may assign this subcontract, in total, to the Construction Manager. At time of assignment the General Contractor assumes all rights and privileges granted to Model by this subcontract. Subcontractor will be notified in writing within 5 working days of the assignment.

All work shall be coordinated and scheduled by the forth coming attached project schedule (Exhibit C) and managed through General Contractor.

Windows SUMMARY

Provide all labor, material, equipment, supplies, taxes, insurances, supervision, inspections, manufacturer's warranty and permits to perform the Windows Work for The Landings project in Ft. Wayne, Indiana.

The Buildings, and address included in this work are:

110 & 114 W. Columbia St.

116 W. Columbia St.

123 W. Columbia St.

111 W. Columbia St.

118 & 122 W. Columbia St.

131 W. Columbia St.

Ft. Wayne, IN 46802

All specifications, manufacturers, notes and details are included in the drawing set. If additional clarification is required, it is your responsibility to contact Model Construction during the bidding process and request that clarification.

The General Specifications (Division 1) are spelled out above, and shall become a part of any contract.

Specifications directly applicable to this scope of work:

Division 00 - All

Division 01 - All

Division 08 – 085113 Architectural Aluminum windows

085500 Aluminum-clad wood windows

This contract specifically includes, but is not necessarily limited to the following:

General

- A. Coordinate and follow schedule. Working closely with site superintendent is a must.

Subcontractor Initials _____

model construction

- B. Include all NEW windows as called out on the drawings.
- C. No new Storefront Elevations are included – by Glass/Glazing Subcontractor. See attached typical elevations for further clarifications.
- D. Glass Block work is NOT included in this BP – by Masonry Subcontractor.
- E. Include ALL window openings, complete, including all necessary anchors and sub-framing
- F. Demolition of existing windows, identified to be replaced, is included in this scope of work.
- G. Remove, dispose and install each window, screen, and trim per plan - include verification and reworking of each opening for a plumb and level window.
- H. Subcontractor shall maintain a water tight opening for the duration of the project. If a window is demolished before new window can be installed this subcontractor shall provide labor and materials to cover opening at no additional cost to the project.
- I. Subcontractor shall install the screens during the punch list phase.
- J. Coordinate with window supplier and Architect the exact style, dimensions and quantities of each window per building including brick molding, stops, panning and wraps.
- K. Dead space in between window unit and framed opening shall be foam insulated or caulked (if too narrow of gap for foam) during initial installation of the window.
- L. Openings to receive replacement window custom fit to existing opening.
- M. Clean and remove all refuse to dumpster from window demolition and installation.
- N. Each window shall be completely installed (window unit, insulation, trim, etc) during the initial installation of each opening.
- O. The Subcontractor punch list shall include checking each window unit for proper installation and operation per manufacturer's recommendation. (ie: balancers, weather stripping, locking mechanisms, cracked or broken glass, correctly fastened units) Each window shall open and close with little force.
- P. Fall protection is mandatory during installation.
- Q. Subcontract includes all metal, nails, caulk, insulation, shims, fasteners, and any other material necessary for manufacturers recommended installation.
- R. Shim and secure window firmly in opening.
- S. Repair costs necessary due to poor installation are the responsibility of the installer including materials.
- T. This Subcontract includes removal and replacement of rotted sills as necessary.
- U. Install per manufactures recommendations to obtain a full warranty.
- V. Install window manufactured track stops to prevent upper sash from inadvertently lowering.
- W. Exterior Trim & Caulk to match window color.
- X. Subcontractor to caulk both interior and exterior surfaces, including window perimeter, to provide a weather tight window installation.
- Y. Provide and required lifts and/or scaffolding necessary for the performance of this work.
- Z. **Lead:** For the purposes of this project, all existing painted/coated building materials are assumed to be lead containing, including but not limited to paints, stains, or other coatings. Work involving materials containing or coated with lead (Pb), must be performed in accordance with EPA's RRP regulations. Prior to the start of activities involving lead, the contractor must provide proof of current OSHA training for each person involved with lead activities, and that each person has written evidence of their ability to properly don the necessary respiratory protection If needed.
- AA. Prior to work a lead scope and work plan must be submitted to Model Construction.

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New Windows					
Building #	North	East	South	West	Notes
131	6-EX	8-EX	4-EX	1-FR-NM	Match historic brick molding
123-125		4-NM		6-EX;12-NM	Match historic brick molding
110	12-EX				Match historic brick molding
114	6-EX		6-NM		Match historic brick molding
116	1-EX		6-EX		Match historic brick molding
118	25-EX	10-NM	2FR-NM	2FR-NM	
122			18-EX		Match historic brick molding
111	12-N		21-N	9-N	
Total	165				

Rehab Windows					
Building #	North	East	South	West	Notes
131					
123-125	4-EX		9-EX		Furnish and Install storm windows for operable sashes on North façade
110					
114					
116					
118			20-EX		No storm sashes, dual action hopper.
122			12-EX		
111					
Total	45				

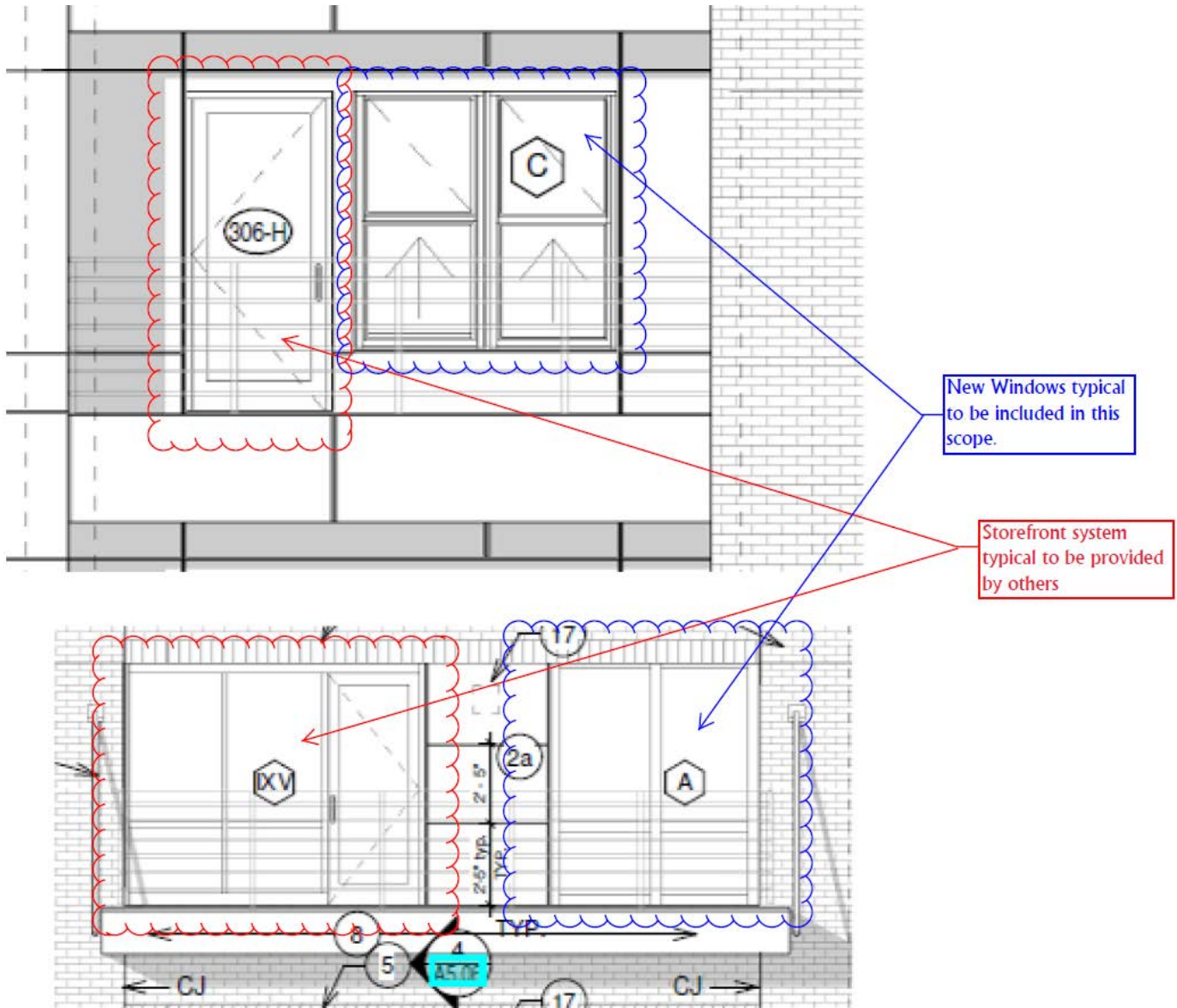
FR=Fire Rated

EX=Existing Masonry Opening

NM=New Masonry Opening

N=New wood framed opening. Nailing flange configuration

model construction





Bid Package #05 Historic rebuild windows

Exhibit B

Subcontract Scope of Work

Job Number: 1803-mc

Job Name: The Landing – Ft. Wayne

Subcontractor:

Commitment #: TBD

Scope of Work: **Historic rebuild Windows**

GENERAL SUMMARY

Maintain fences, barricades, guard rails, caution tape, silt fence & all soil control measures, gravel construction entrances/drives etc. If these items are damaged or removed by your forces (by accident, or for execution of work) they are to be reinstalled by your forces to an acceptable condition.

All deliveries and staging of materials must be coordinated with the Superintendent.

Maintain cleanliness of roadways to the satisfaction of Model Construction, neighborhood, and local authorities for the duration of your work on site. Subcontractor is responsible for cleaning dirt/debris from road if it is caused by your men, equipment, trucks, etc. If dirt/debris is tracked on the road and not cleaned by end of the work, Model Construction will clean and subcontractor will be back charged. (Model Construction will notify subcontractor and allow reasonable time to clean prior to assuming responsibility of cleaning).

Provide daily clean-up of all construction debris and “personal trash” (lunch wrappers, bottles, etc.) generated by your crew. Clean up after every workday and take trash to the proper dumpster before going home. If the job site is not in a neat and orderly condition, then all contractors on the jobsite will be responsible to pay for the cost plus fee to have a third party contractor make the job site clean, neat and orderly.

All MODEL CONSTRUCTION jobsites are TOBACCO FREE. All smoking, dipping, chewing, etc. must be done off site, in area designated by Model Construction Superintendent. Please inform your crew(s), as this will be enforced.

Temporary restrooms are provided by Model Construction.

All reference to “General Contractor”, Trade Contractor, or “Subcontractor” in the construction documents shall mean Trade Contractor as outlined in this scope of work/contract.

All work shall be performed by OSHA regulations and standards. All safety issues are to be corrected and paid for by this subcontractor.

Subcontractor Initials _____

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All workers on Model Construction Job Sites should be OSHA ten hour trained or have the basic knowledge of OSHA laws and regulations.

All Job-Specific SDS Sheets for this Work Scope must be submitted to the Model Project Manager PRIOR to the start of work.

Weekly subcontractor meeting will be held in the job office. These meetings are MANDATORY! At least one member from the subcontractor (foreman, project manager, or someone with decision making authority) must be in attendance starting two weeks prior to the scheduled start date, and throughout the duration of your scope of work.

Working hours for this project are established as 7:00 AM to 3:30 PM Monday through Friday. If subcontractors desire to work outside of these hours, prior approval must be granted by Model Construction superintendent. Contractors shall be expected/permitted to work Saturday or Federal Holidays as necessary to maintain the progress of the construction schedule.

All work to be in compliance with the complete contract documents (plans and specifications). Documents can also be examined at the Model Website (see below).

Any work not covered in the base contract must be approved by Model Construction before subcontractor proceeds with work. A daily ticket must be signed by Model superintendent for all extra work. All extra tickets must be included in a **Change Order Request** and submitted on a weekly basis. **No** compensation will be paid to subcontractor for extra work until it is signed by the subcontractor and Model Construction.

Proactive thinking and coordination with Model Construction and other subcontractors is expected and required throughout this project.

Any functioning system turned off or disconnected during the day must be put back in service by the end of the work day. Work day is to be considered day or evening shift depending on where the work is taking place.

Provide close out documents, spare parts, O & M manuals, warranty, etc. upon completion of the scope of work.

Provide accurate As-Built drawings.

Provide OSHA 300A at the end of this job documenting the hours logged by workers on the jobsite and any incidents that occurred on the jobsite.

Subcontractor is to provide a 1 year warranty for all work performed, stating on the day the certificate of occupancy is issued. This 1 year warranty must be officially submitted to Model Construction at the end of the project on company letterhead.

Contractor shall visit site and become familiar with existing conditions as they relate to the proposed work prior to submitting bid, ordering materials, etc.

Drawings and dimensions are plus/minus. Contractor responsible for verifying existing conditions, dimensions, etc., prior to commencing work. Report substantial discrepancies to Model Construction immediately, before continuing with work. Do not scale drawings.

Each contractor responsible for performing work according to local, state and national codes, as well as other regulations which apply to such work.

Removal or cutting of structural members is not permitted unless shown on the drawings. Consult with Model Construction regarding repair or removal of structural items.

Subcontractor Initials _____



Materials to be installed must conform to the manufacturer’s recommendations.

Hard hats, work boots, protective eyewear and gloves are required for all personnel on-site.

Final Payment will be paid after contractor complies with submitting its completed company punch list, submitting completed signed copies of Model Construction punch lists and providing all warranty paper work to Model Construction.

Smoking, eating and drinking on-site is prohibited.

This is not a tax exempt project. Include all applicable taxes.

Prevailing Wages do not apply.

Model at its own discretion, may assign this subcontract, in total, to the Construction Manager. At time of assignment the General Contractor assumes all rights and privileges granted to Model by this subcontract. Subcontractor will be notified in writing within 5 working days of the assignment.

All work shall be coordinated and scheduled by the forth coming attached project schedule (Exhibit C) and managed through General Contractor.

Windows SUMMARY

Provide all labor, material, equipment, supplies, taxes, insurances, supervision, inspections, manufacturer’s warranty and permits to perform the Windows Work for The Landings project in Ft. Wayne, Indiana.

The Buildings, and address included in this work are:

- 110 & 114 W. Columbia St.**
- 116 W. Columbia St.**
- 123 W. Columbia St.**
- 111 W. Columbia St.**
- 118 & 122 W. Columbia St.**
- 131 W. Columbia St.**
- Ft. Wayne, IN 46802**

All specifications, manufacturers, notes and details are included in the drawing set. If additional clarification is required, it is your responsibility to contact Model Construction during the bidding process and request that clarification.

The General Specifications (Division 1) are spelled out above, and shall become a part of any contract.

Specifications directly applicable to this scope of work:

- Division 00 - All**
- Division 01 - All**
- Division 08 – 085520 Wood windows**
 - 085810 Custom storm windows**
 - 088000 Glazing**

This contract specifically includes, but is not necessarily limited to the following:

General

Subcontractor Initials _____

model construction

- A. Coordinate and follow schedule. Working closely with site superintendent is a must.
- B. Include all Historic Rebuilt windows as called out on the drawing Elevations. Include Storm Windows at all Historic Rebuilds where required.
- C. No new Storefront Elevations are included – by Glass/Glazing Subcontractor
- D. Glass Block work is not included in this BP – by Masonry Subcontractor.
- E. Include ALL window openings, complete, including all necessary anchors and sub-framing
- F. Deconstruction and Salvage of existing windows, identified to be replaced, is included in this scope of work.
- G. Coordinate with window supplier and Architect the exact style, dimensions and quantities of each window per building including brick molding, stops, panning and wraps.
- H. Successful Replacement window contractor shall install historic window mock-ups within two weeks of contract execution. Time is of the essence for this mock up installation to expedite the state and federal NPS historic approvals.
- I. Dead space in between window unit and framed opening shall be foam insulated or caulked (if too narrow of gap for foam) during initial installation of the window.
- J. Clean and remove all refuse to dumpster from window demolition and installation.
- K. Subcontractor shall maintain a water tight opening for the duration of the project. If a window is demolished before new window can be installed this subcontractor shall provide labor and materials to cover opening at no additional cost to the project.
- L. Each window shall be completely installed (window unit, insulation, trim, etc) during the initial installation of each opening.
- M. The Subcontractor punch list shall include checking each window unit for proper installation and operation per manufacturer's recommendation. (ie: balancers, weather stripping, locking mechanisms, cracked or broken glass, correctly fastened units) Each window shall open and close with little force.
- N. Fall protection is mandatory during installation.
- O. Subcontract includes all metal nails, caulk, insulation, shims, fasteners, and any other material necessary for manufacturers recommended installation.
- P. Shim and secure window firmly in opening.
- Q. Repair costs necessary due to poor installation are the responsibility of the installer including materials.
- R. This Subcontract includes removal and replacement of rotted sills as necessary.
- S. Exterior Trim & Caulk to match window color including backer rod as needed/required.
- T. Subcontractor to caulk both interior and exterior surfaces to provide a weather tight window installation.
- U. Provide and required lifts and/or scaffolding necessary for the performance of this work.
- V. Please reference the Historic Part II Narratives; Contractor shall be sensitive to historical preservation requirements related to this scope of work. Bring it to the attention of Model Project Manager if Historic Part II and drawings are contradictory. Demoing, installing new windows, blind stops, trim, brick mold need to follow National Park Service guidelines.
- W. **Lead:** For the purposes of this project, all existing painted/coated building materials are assumed to be lead containing, including but not limited to paints, stains, or other coatings. Work involving materials containing or coated with lead (Pb), must be performed in accordance with EPA's RRP regulations. Prior to the start of activities involving lead, the contractor must provide proof of current OSHA training for each person involved with lead activities, and that each person has written evidence of their ability to properly don the necessary respiratory protection If needed.
- X. Prior to work a lead scope and work plan must be submitted to Model Construction.

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New Windows					
Building #	North	East	South	West	Notes
131	6-EX	8-EX	4-EX	1-FR-NM	Match historic brick molding
123-125		4-NM		6-EX;12-NM	Match historic brick molding
110	12-EX				Match historic brick molding
114	6-EX		6-NM		Match historic brick molding
116	1-EX		6-EX		Match historic brick molding
118	25-EX	10-NM	2FR-NM	2FR-NM	
122			18-EX		Match historic brick molding
111	12-N		21-N	9-N	
Total	165				

Rehab Windows					
Building #	North	East	South	West	Notes
131					
123-125	4-EX		9-EX		Furnish and Install storm windows for operable sashes on North façade
110					
114					
116					
118			20-EX		No storm sashes, dual action hopper.
122			12-EX		
111					
Total	45				

FR=Fire Rated

EX=Existing Masonry Opening

NM=New Masonry Opening

N=New wood framed opening. Nailing flange configuration

model construction

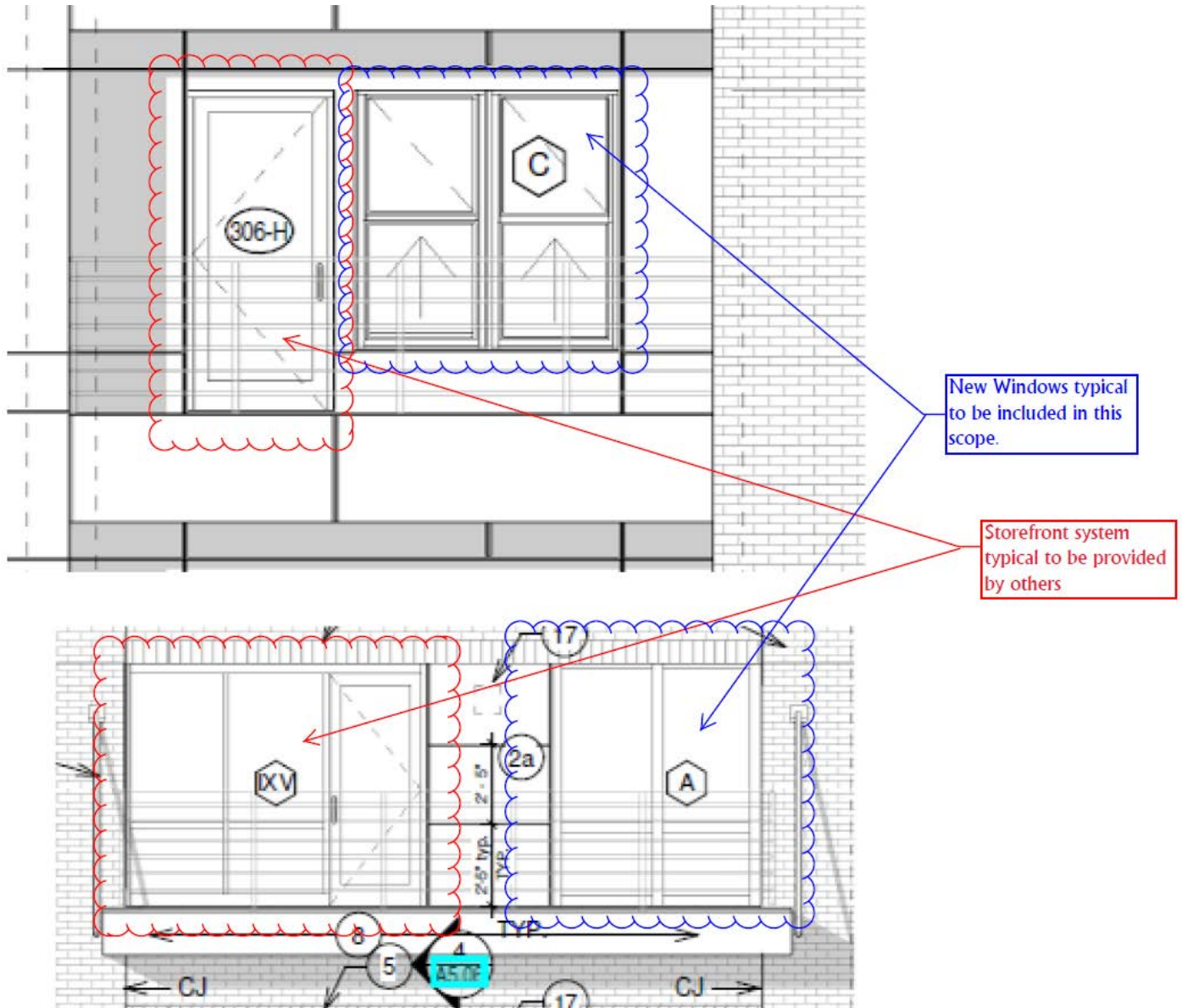




Exhibit B

BP 06 Elevator

Subcontract Scope of Work

Job Number: 1803-mc

Job Name: The Landing – Ft. Wayne

Subcontractor:

Commitment #: TBD

Scope of Work: **Elevators**

GENERAL SUMMARY

Maintain fences, barricades, guard rails, caution tape, silt fence & all soil control measures, gravel construction entrances/drives etc. If these items are damaged or removed by your forces (by accident, or for execution of work) they are to be reinstalled by your forces to an acceptable condition.

All deliveries and staging of materials must be coordinated with the Superintendent.

Maintain cleanliness of roadways to the satisfaction of Model Construction, neighborhood, and local authorities for the duration of your work on site. Subcontractor is responsible for cleaning dirt/debris from road if it is caused by your men, equipment, trucks, etc. If dirt/debris is tracked on the road and not cleaned by end of the work, Model Construction will clean and subcontractor will be back charged. (Model Construction will notify subcontractor and allow reasonable time to clean prior to assuming responsibility of cleaning).

Provide daily clean-up of all construction debris and “personal trash” (lunch wrappers, bottles, etc.) generated by your crew. Clean up after every workday and take trash to the proper dumpster before going home. If the job site is not in a neat and orderly condition, then all contractors on the jobsite will be responsible to pay for the cost plus fee to have a third party contractor make the job site clean, neat and orderly.

All MODEL CONSTRUCTION jobsites are TOBACCO FREE. All smoking, dipping, chewing, etc. must be done off site, in area designated by Model Construction Superintendent. Please inform your crew(s), as this will be enforced.

Temporary restrooms are provided by Model Construction.

All reference to “General Contractor”, Trade Contractor, or “Subcontractor” in the construction documents shall mean Trade Contractor as outlined in this scope of work/contract.

All work shall be performed by OSHA regulations and standards. All safety issues are to be corrected and paid for by this subcontractor.

Subcontractor Initials _____

model construction

All workers on Model Construction Job Sites should be OSHA ten hour trained or have the basic knowledge of OSHA laws and regulations.

All Job-Specific SDS Sheets for this Work Scope must be submitted to the Model Project Manager PRIOR to the start of work.

Weekly subcontractor meeting will be held in the job office. These meetings are MANDATORY! At least one member from the subcontractor (foreman, project manager, or someone with decision making authority) must be in attendance starting two weeks prior to the scheduled start date, and throughout the duration of your scope of work.

Working hours for this project are established as 7:00 AM to 3:30 PM Monday through Friday. If subcontractors desire to work outside of these hours, prior approval must be granted by Model Construction superintendent. Contractors shall be expected/permitted to work Saturday or Federal Holidays as necessary to maintain the progress of the construction schedule.

All work to be in compliance with the complete contract documents (plans and specifications). Documents can also be examined at the Model Website (see below).

Any work not covered in the base contract must be approved by Model Construction before subcontractor proceeds with work. A daily ticket must be signed by Model superintendent for all extra work. All extra tickets must be included in a **Change Order Request** and submitted on a weekly basis. **No** compensation will be paid to subcontractor for extra work until it is signed by the subcontractor and Model Construction.

Proactive thinking and coordination with Model Construction and other subcontractors is expected and required throughout this project.

Any functioning system turned off or disconnected during the day must be put back in service by the end of the work day. Work day is to be considered day or evening shift depending on where the work is taking place.

Provide close out documents, spare parts, O & M manuals, warranty, etc. upon completion of the scope of work.

Provide accurate As-Built drawings.

Provide OSHA 300A at the end of this job documenting the hours logged by workers on the jobsite and any incidents that occurred on the jobsite.

Subcontractor is to provide a 1 year warranty for all work performed, stating on the day the certificate of occupancy is issued. This 1 year warranty must be officially submitted to Model Construction at the end of the project on company letterhead.

Contractor shall visit site and become familiar with existing conditions as they relate to the proposed work prior to submitting bid, ordering materials, etc.

Drawings and dimensions are plus/minus. Contractor responsible for verifying existing conditions, dimensions, etc., prior to commencing work. Report substantial discrepancies to Model Construction immediately, before continuing with work. Do not scale drawings.

Each contractor responsible for performing work according to local, state and national codes, as well as other regulations which apply to such work.

Removal or cutting of structural members is not permitted unless shown on the drawings. Consult with Model Construction regarding repair or removal of structural items.

Subcontractor Initials _____



Materials to be installed must conform to the manufacturer’s recommendations.

Hard hats, work boots, protective eyewear and gloves are required for all personnel on-site.

Final Payment will be paid after contractor complies with submitting its completed company punch list, submitting completed signed copies of Model Construction punch lists and providing all warranty paper work to Model Construction.

Smoking, eating and drinking on-site is prohibited.

This is not a tax exempt project. Include all applicable taxes.

Prevailing Wages do not apply.

Model at its own discretion, may assign this subcontract, in total, to the Construction Manager. At time of assignment the General Contractor assumes all rights and privileges granted to Model by this subcontract. Subcontractor will be notified in writing within 5 working days of the assignment.

All work shall be coordinated and scheduled by the forth coming attached project schedule (Exhibit C) and managed through General Contractor.

Elevator SUMMARY

Provide all labor, material, equipment, supplies, taxes, insurances, supervision, inspections, manufacturer’s warranty and permits to perform the Elevator Work for The Landings project in Ft. Wayne Indiana.

The Buildings, and address included in this work are:

**111 W. Columbia St.
118 & 122 W. Columbia St. Ft. Wayne, IN 46802**

All specifications, manufacturers, notes and details are included in the drawing set. If additional clarification is required, it is your responsibility to contact Model Construction during the bidding process and request that clarification.

The General Specifications (Division 1) are spelled out above, and shall become a part of any contract.

Specifications directly applicable to this scope of work:

- Division 00 - All**
- Division 01 - All**
- Division 14 – 142100 ELECTRIC TRACTION ELEVATORS**

This contract specifically includes, but is not necessarily limited to the following:

Provide a complete working Elevator System including, but not limited to the following:

- Maintain job schedule regarding deliveries, install, and completion.
- 40 hours of operator time is included and to be utilized at model’s discretion.
- Provide embeds as required to support this system

Subcontractor Initials _____

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- Provide layout and coordinate sizing and other requirements
- Supplemental lighting required for this scope is to be provided by this Subcontractor.
- All traffic control, safety barricades, permits and etc. required for partial, temporary road closures or use for the duration of this work as required to prevent hazards to the public and all project subcontractors or visitors.
- Provide and install the complete elevator scope as defined by the contract documents.
- Schedule, coordinate and cooperate with the materials testing and inspections firm for materials testing and special inspections associated with this scope of work to prevent delays to the work.
- Guardrails at openings in shaft will be provided by Model Construction. If modifications are made it is the responsibility of this subcontractor to maintain guardrails around open elevator shafts.
- Provide sleeves for your scope of work for through wall penetrations prior to the start of elevator foundations or elevator shaft work.
- Furnish embeds for installation in masonry block walls and concrete foundation (if required).
- The unloading and placement of this subcontractor material is by this subcontractor.
- Provide all scaffolding, lifts, cranes, and equipment required for your work.
- This subcontractor shall provide and install any low voltage wiring needed for operation of the elevator components. The electrical contractor will provide line voltage power, disconnects, fire alarm wiring and connections, and card access wiring. All wiring landed on an elevator control board or component will be by this subcontractor.
- Subcontractor will provide and install the door frame entrances and doors.
- Subcontractor will provide and install any rail inserts and sill angles.
- The elevator will be used prior to final occupancy. Include any additional warranty period for up to 6 months for each elevator.
- Subcontractor shall file for and provide elevator permit and final usage certification.
- Warranty period shall commence at substantial completion of the project.
- Include all elevator related fire stopping requirements.
- Furnish and install new cab finishes as approved by the Architect.
- Provide hall stations, hall fixtures, position indicators, etc. for a complete operational system.
- All elevator pit dimensions, shaft dimensions, and any other issues relating to elevator location and functionality is the responsibility of this subcontractor. The Shop drawings verifying required dimensions, power, phone eservice, etc. must be submitted within 4 weeks after subcontract is issued.
- Must provide non-proprietary operation.
- Subcontractor shall include 12 months of full service maintenance from date of substantial completion for the project. Include in your bid all cost associated with temporary use permit and any re-inspections that may be needed.
- Subcontractor shall include all material handling of their materials and equipment throughout the project. The site access is limited and therefore might not allow placement of all material directly near the elevator(s). All cost for unloading material from delivery trucks and staging on the jobsite shall be included by this subcontractor. Place materials on skids and provide means for all materials to be mobile.
- Include 1 set of elevator pads for 111 and 1 set for 118.

118 W. Columbia

- New Elevator at new location. 11 stops/landings.

111 W. Columbia

- New Elevator at new location. 4 stops/landings.

Subcontractor Initials _____



Exhibit B

BP 07 LULA Elevator

Subcontract Scope of Work

Job Number: 1803-mc

Job Name: The Landing – Ft. Wayne

Subcontractor:

Commitment #: TBD

Scope of Work: **LULA- Limited use limited area.**

GENERAL SUMMARY

Maintain fences, barricades, guard rails, caution tape, silt fence & all soil control measures, gravel construction entrances/drives etc. If these items are damaged or removed by your forces (by accident, or for execution of work) they are to be reinstalled by your forces to an acceptable condition.

All deliveries and staging of materials must be coordinated with the Superintendent.

Maintain cleanliness of roadways to the satisfaction of Model Construction, neighborhood, and local authorities for the duration of your work on site. Subcontractor is responsible for cleaning dirt/debris from road if it is caused by your men, equipment, trucks, etc. If dirt/debris is tracked on the road and not cleaned by end of the work, Model Construction will clean and subcontractor will be back charged. (Model Construction will notify subcontractor and allow reasonable time to clean prior to assuming responsibility of cleaning).

Provide daily clean-up of all construction debris and “personal trash” (lunch wrappers, bottles, etc.) generated by your crew. Clean up after every workday and take trash to the proper dumpster before going home. If the job site is not in a neat and orderly condition, then all contractors on the jobsite will be responsible to pay for the cost plus fee to have a third party contractor make the job site clean, neat and orderly.

All MODEL CONSTRUCTION jobsites are TOBACCO FREE. All smoking, dipping, chewing, etc. must be done off site, in area designated by Model Construction Superintendent. Please inform your crew(s), as this will be enforced.

Temporary restrooms are provided by Model Construction.

All reference to “General Contractor”, Trade Contractor, or “Subcontractor” in the construction documents shall mean Trade Contractor as outlined in this scope of work/contract.

All work shall be performed by OSHA regulations and standards. All safety issues are to be corrected and paid for by this subcontractor.

Subcontractor Initials _____

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All workers on Model Construction Job Sites should be OSHA ten hour trained or have the basic knowledge of OSHA laws and regulations.

All Job-Specific SDS Sheets for this Work Scope must be submitted to the Model Project Manager PRIOR to the start of work.

Weekly subcontractor meeting will be held in the job office. These meetings are MANDATORY! At least one member from the subcontractor (foreman, project manager, or someone with decision making authority) must be in attendance starting two weeks prior to the scheduled start date, and throughout the duration of your scope of work.

Working hours for this project are established as 7:00 AM to 3:30 PM Monday through Friday. If subcontractors desire to work outside of these hours, prior approval must be granted by Model Construction superintendent. Contractors shall be expected/permitted to work Saturday or Federal Holidays as necessary to maintain the progress of the construction schedule.

All work to be in compliance with the complete contract documents (plans and specifications). Documents can also be examined at the Model Website (see below).

Any work not covered in the base contract must be approved by Model Construction before subcontractor proceeds with work. A daily ticket must be signed by Model superintendent for all extra work. All extra tickets must be included in a **Change Order Request** and submitted on a weekly basis. **No** compensation will be paid to subcontractor for extra work until it is signed by the subcontractor and Model Construction.

Proactive thinking and coordination with Model Construction and other subcontractors is expected and required throughout this project.

Any functioning system turned off or disconnected during the day must be put back in service by the end of the work day. Work day is to be considered day or evening shift depending on where the work is taking place.

Provide close out documents, spare parts, O & M manuals, warranty, etc. upon completion of the scope of work.

Provide accurate As-Built drawings.

Provide OSHA 300A at the end of this job documenting the hours logged by workers on the jobsite and any incidents that occurred on the jobsite.

Subcontractor is to provide a 1 year warranty for all work performed, stating on the day the certificate of occupancy is issued. This 1 year warranty must be officially submitted to Model Construction at the end of the project on company letterhead.

Contractor shall visit site and become familiar with existing conditions as they relate to the proposed work prior to submitting bid, ordering materials, etc.

Drawings and dimensions are plus/minus. Contractor responsible for verifying existing conditions, dimensions, etc., prior to commencing work. Report substantial discrepancies to Model Construction immediately, before continuing with work. Do not scale drawings.

Each contractor responsible for performing work according to local, state and national codes, as well as other regulations which apply to such work.

Removal or cutting of structural members is not permitted unless shown on the drawings. Consult with Model Construction regarding repair or removal of structural items.

Subcontractor Initials _____



Materials to be installed must conform to the manufacturer’s recommendations.

Hard hats, work boots, protective eyewear and gloves are required for all personnel on-site.

Final Payment will be paid after contractor complies with submitting its completed company punch list, submitting completed signed copies of Model Construction punch lists and providing all warranty paper work to Model Construction.

Smoking, eating and drinking on-site is prohibited.

This is not a tax exempt project. Include all applicable taxes.

Prevailing Wages do not apply.

Model at its own discretion, may assign this subcontract, in total, to the Construction Manager. At time of assignment the General Contractor assumes all rights and privileges granted to Model by this subcontract. Subcontractor will be notified in writing within 5 working days of the assignment.

All work shall be coordinated and scheduled by the forth coming attached project schedule (Exhibit C) and managed through General Contractor.

Elevator SUMMARY

Provide all labor, material, equipment, supplies, taxes, insurances, supervision, inspections, manufacturer’s warranty and permits to perform the Elevator Work for The Landings project in Ft. Wayne Indiana.

The Buildings, and address included in this work are:

- 110 & 114 W. Columbia St.**
- 116 W. Columbia St.**
- 123 W. Columbia St.**
- 111 W. Columbia St.**
- 118 & 122 W. Columbia St.**
- 131 W. Columbia St.**
- Ft. Wayne, IN 46802**

All specifications, manufacturers, notes and details are included in the drawing set. If additional clarification is required, it is your responsibility to contact Model Construction during the bidding process and request that clarification.

The General Specifications (Division 1) are spelled out above, and shall become a part of any contract.

Specifications directly applicable to this scope of work:

- Division 00 - All**
- Division 01 - All**
- Division 14 – 142600 LIMITED USE/LIMITED APPLICATION ELEVATOR LULA**

This contract specifically includes, but is not necessarily limited to the following:

Provide a complete working Elevator System including, but not limited to the following:

- Maintain job schedule regarding deliveries, install, and completion.

Subcontractor Initials _____

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- Provide embeds
- Provide layout and coordinate sizing and other requirements
- Supplemental lighting required for this scope is to be provided by this Subcontractor.
- All traffic control, safety barricades, permits and etc. required for partial, temporary road closures or use for the duration of this work as required to prevent hazards to the public and all project subcontractors or visitors.
- Provide and install the complete LULA scope as defined by the contract documents.
- Schedule, coordinate and cooperate with the materials testing and inspections firm for materials testing and special inspections associated with this scope of work to prevent delays to the work.
- Guardrails will be provided by Model Construction. If modifications are made it is the responsibility of this subcontractor to maintain guardrails around open elevator shafts.
- Provide sleeves for your scope of work for through wall penetrations prior to the start of elevator foundations or elevator shaft work.
- Furnish embeds for installation in masonry block walls and concrete foundation (if required).
- The unloading and placement of this subcontractor material is by this subcontractor.
- Provide all scaffolding, lifts, cranes, and equipment required for your work.
- This subcontractor shall provide and install any low voltage wiring needed for operation of the elevator components. The electrical contractor will provide line voltage power, disconnects, fire alarm wiring and connections, and card access wiring. All wiring landed on an elevator control board or component will be by this contractor.
- Subcontractor will provide and install the door frame entrances.
- Subcontractor will provide and install any rail inserts and sill angles.
- The elevator will be used prior to final occupancy. Provide any additional warranty period for such use
- Subcontractor shall file for and provide elevator permit and final usage certification.
- Subcontractor shall include 12 months of full service maintenance from date of substantial completion for the project. Include in your bid all cost associated with temporary use permit and any re-inspections that may be needed.
- Subcontractor shall include all material handling of their materials and equipment throughout the project. The site access is limited and therefore might not allow placement of all material directly near the elevator(s). All cost for unloading material from delivery trucks and staging on the jobsite shall be included by this subcontractor. Place materials on skids and provide means for all materials to be mobile.

116 W. Columbia

- New LULA Limited Use Lift System, complete



Bid Package #08 HVAC

Exhibit B

Subcontract Scope of Work

Job Number: 1803-mc

Job Name: The Landing – Ft. Wayne **Bldg. 111 W. Columbia**

Subcontractor:

Commitment #: TBD

Scope of Work: **HVAC**

GENERAL SUMMARY

Maintain fences, barricades, guard rails, caution tape, silt fence & all soil control measures, gravel construction entrances/drives etc. If these items are damaged or removed by your forces (by accident, or for execution of work) they are to be reinstalled by your forces to an acceptable condition.

All deliveries and staging of materials must be coordinated with the Superintendent.

Maintain cleanliness of roadways to the satisfaction of Model Construction, neighborhood, and local authorities for the duration of your work on site. Subcontractor is responsible for cleaning dirt/debris from road if it is caused by your men, equipment, trucks, etc. If dirt/debris is tracked on the road and not cleaned by end of the work, Model Construction will clean and subcontractor will be back charged. (Model Construction will notify subcontractor and allow reasonable time to clean prior to assuming responsibility of cleaning).

Provide daily clean-up of all construction debris and “personal trash” (lunch wrappers, bottles, etc.) generated by your crew. Clean up after every workday and take trash to the proper dumpster before going home. If the job site is not in a neat and orderly condition, then all contractors on the jobsite will be responsible to pay for the cost plus fee to have a third party contractor make the job site clean, neat and orderly.

All MODEL CONSTRUCTION jobsites are TOBACCO FREE. All smoking, dipping, chewing, etc. must be done off site, in area designated by Model Construction Superintendent. Please inform your crew(s), as this will be enforced.

Temporary restrooms are provided by Model Construction.

All reference to “General Contractor”, Trade Contractor, or “Subcontractor” in the construction documents shall mean Trade Contractor as outlined in this scope of work/contract.

All work shall be performed by OSHA regulations and standards. All safety issues are to be corrected and paid for by this subcontractor.

Subcontractor Initials _____

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All workers on Model Construction Job Sites should be OSHA ten hour trained or have the basic knowledge of OSHA laws and regulations.

All Job-Specific SDS Sheets for this Work Scope must be submitted to the Model Project Manager PRIOR to the start of work.

Weekly subcontractor meeting will be held in the job office. These meetings are MANDATORY! At least one member from the subcontractor (foreman, project manager, or someone with decision making authority) must be in attendance starting two weeks prior to the scheduled start date, and throughout the duration of your scope of work.

Working hours for this project are established as 7:00 AM to 3:30 PM Monday through Friday. If subcontractors desire to work outside of these hours, prior approval must be granted by Model Construction superintendent. Contractors shall be expected/permitted to work Saturday or Federal Holidays as necessary to maintain the progress of the construction schedule.

All work to be in compliance with the complete contract documents (plans and specifications). Documents can also be examined at the Model Website (see below).

Any work not covered in the base contract must be approved by Model Construction before subcontractor proceeds with work. A daily ticket must be signed by Model superintendent for all extra work. All extra tickets must be included in a **Change Order Request** and submitted on a weekly basis. **No** compensation will be paid to subcontractor for extra work until it is signed by the subcontractor and Model Construction.

Proactive thinking and coordination with Model Construction and other subcontractors is expected and required throughout this project.

Any functioning system turned off or disconnected during the day must be put back in service by the end of the work day. Work day is to be considered day or evening shift depending on where the work is taking place.

Provide close out documents, spare parts, O & M manuals, warranty, etc. upon completion of the scope of work.

Provide accurate As-Built drawings.

Provide OSHA 300A at the end of this job documenting the hours logged by workers on the jobsite and any incidents that occurred on the jobsite.

Subcontractor is to provide a 1 year warranty for all work performed, stating on the day the certificate of occupancy is issued. This 1 year warranty must be officially submitted to Model Construction at the end of the project on company letterhead.

Contractor shall visit site and become familiar with existing conditions as they relate to the proposed work prior to submitting bid, ordering materials, etc.

Drawings and dimensions are plus/minus. Contractor responsible for verifying existing conditions, dimensions, etc., prior to commencing work. Report substantial discrepancies to Model Construction immediately, before continuing with work. Do not scale drawings.

Each contractor responsible for performing work according to local, state and national codes, as well as other regulations which apply to such work.

Removal or cutting of structural members is not permitted unless shown on the drawings. Consult with Model Construction regarding repair or removal of structural items.

Subcontractor Initials _____

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Materials to be installed must conform to the manufacturer's recommendations.

Hard hats, work boots, protective eyewear and gloves are required for all personnel on-site.

Final Payment will be paid after contractor complies with submitting its completed company punch list, submitting completed signed copies of Model Construction punch lists and providing all warranty paper work to Model Construction.

Smoking, eating and drinking on-site is prohibited.

This is not a tax exempt project. Include all applicable taxes.

Prevailing Wages do not apply.

Model at its own discretion, may assign this subcontract, in total, to the Construction Manager. At time of assignment the General Contractor assumes all rights and privileges granted to Model by this subcontract. Subcontractor will be notified in writing within 5 working days of the assignment.

All work shall be coordinated and scheduled by the forth coming attached project schedule (Exhibit C) and managed through General Contractor.

HVAC SUMMARY

Provide all labor, material, equipment, supplies, supervision, inspections, manufacturer's warranty and permits to perform the HVAC Work for The Landing – Ft. Wayne **Bldg. 111 W. Columbia** project in Ft. Wayne Indiana.

The Buildings, and address included in this work are:

111 W. Columbia St. Ft. Wayne, IN 46802

Specifications directly applicable to this scope of work:

All specifications, manufacturers, notes and details are included in the drawing set. If additional clarification is required, it is your responsibility to contact Model Construction during the bidding process and request that clarification.

The General Specifications (Division 1) are spelled out above, and shall become a part of any contract.

Specifications directly applicable to this scope of work:

**Division 00 - All
Division 01 - All
Division 23 – All**

This contract specifically includes, but is not necessarily limited to the following:

- HVAC Subcontractor to apply for and obtain the necessary Permits for their Work. All costs, including Jurisdictional Fees for such Permit, shall be included in this Subcontract
- Coordinate and follow schedule. Working closely with site superintendent is a must.

Subcontractor Initials _____

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- Provide and install all components for the heating, ventilation and air conditioning system for building 111 per the HVAC drawings, specifications and Code requirements
- All low voltage Controls are included in this Bid Package.
- Provide and install all hangers, fasteners, supports and blocking to complete the HVAC system.
- Provide and install all venting for furnaces, flues, combustion air, makeup air, dryers, bath vents, range hood etc.
- All installations to comply with all applicable codes.
- Coordinate with Model Construction and other mechanical contractors throughout duration of the project.
- Dryer Exhaust System, complete, including any required fire rated wrappings of duct
- Install smoke detectors at/in ductwork as required (Furnished and wired by Electrical Subcontractor)
- All exposed round duct to be spiral configuration
- Motorized Control Dampers
- Registers, grilles and diffusers
- Intake relief hoods with associated roof curbs
- Electric ceiling hung heaters, complete
- Electric Duct Heater System, complete
- Apartment and Common Area Furnace Systems with DDC controls
- Bathroom Exhaust System, complete
- All Bath exhaust fans are to be energy star rated. Include one dual speed, continuously running bath fan per apartment. Submit bath fan cut sheets before installation.
- Wear clean gloves when installing finishes. Our intention is to prevent dirt on the finish painted white walls.
- During winter months maintain the furnaces for temporary heat on a regular basis. Filters shall be installed at all times.
- All breakers and systems shall be installed before the HVAC inspection. The systems need to be "ready to go".
- Holes drilled through brick shall not cause damage to the exterior of the building. Such damages shall be repaired at the contractor's expense.
- Locate all exhaust fans and dryer vents per drawing. If locations are not conducive to field conditions, coordinate with other MEP contractors and site superintendent to relocate them.
- Include all brick vents.
- Contractor must conform to OSHA regulations including having a fire extinguisher present when open flame is being used.
- All duct work is to be FULLY sealed with duct sealant. The intent is to have zero duct leakage. The duct leakage test will take place at the end of the project. Pre-test prior to drywall installation.
- ALL PENETRATIONS in drywall assemblies to include supply registers, return grilles, line-sets, ducts, etc must be either fire caulked (if in fire assembly) or caulked / sealed to prevent air leakage. This means the actual rough in boot need to be sealed.
- Furnish and Install all ductwork including required insulation, fasteners, tape, sealants, flexible connections, filters, turning vanes, access doors, fittings etc. for a complete air tight system.
- Filters shall be installed at all times. Provide 1 filter for construction use and then 1 filter at substantial completion of MERV 10 or greater.
- Subcontractor to test and balance system to ensure proper operations prior to turn over.
- Provide any loose starters (wiring by electrical subcontractor)
- Flex duct is only to be used when no other option is available.
- Thru wall boots shall be sealed to drywall with foil tape or duct sealant in order to prevent air leakage into wall cavity.
- Air handler condensation lines and pans to be provided.
- Air handler interior components must be cleaned during building punch list.
- Include cost for any equipment pads needed for this scope of work.
- All equipment supports, pipe hangers, bracing, etc. required for the performance of this work are to be included.
- All open ductwork is to be covered and protected @ the end of each work day to inhibit dust, debris, and moisture infiltration.
- Provide and install all smoke damper and fire damper requirements at all rated partitions.
- Include all HVAC related firestopping requirements. Coordinate with other subcontractors and use same material.

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- No HCFC Refrigerants are to be used. Refrigerants must be LEED approved; documentation showing the proper refrigerant was used is required.
- Documentation showing a refrigerant charge test was completed on each unit is required.
- Include as an add alternate a mini-split system for elevator control room.
- Include any necessary equipment rails/ pads for roof top equipment.
- Include roof curbs, doghouses, pitch pockets, boots, etc. necessary for the performance of this work.
- Include all exhaust requirements, booster fans, kitchen exhaust, laundry exhaust, grills, lint collectors as necessary.